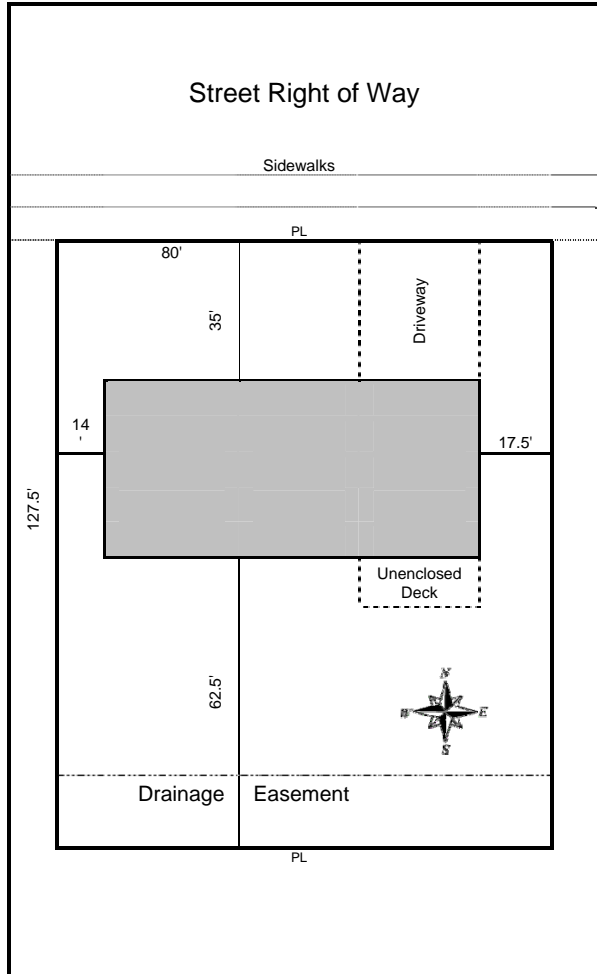


Site Plan Example

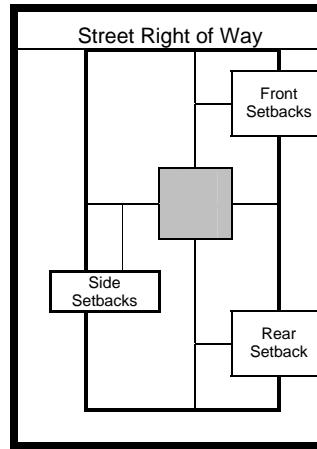


1. When do I have to fill out a zoning application?

You need to fill out a zoning application for any new home, accessory building, or addition to your home.

2. What is a setback?

Every zoning district includes rules about how far buildings must be from the lot lines of your property. This distance is called a setback.



3. Where do I measure the setback from?

The setback is measured from the lot line of your property, except if there is an access easement or public right of way on it. Then it is measured from the edge of the easement or right of way. You should note that the edge of the right of way is not the edge of the pavement of the road.

4. Where do I measure the setback to?

Setbacks are measured to the nearest foundation line of the house including porches, lean-tos, carports, and breezeways if they are enclosed or nearly enclosed. However, there are some exceptions. Steps and cantilevered projections, such as a bay window, of less than two feet can be within the minimum setback.

5. Do porches and decks have to meet the setback requirement?

A porch must meet the setback requirements if it is enclosed or nearly enclosed. It is considered to be nearly enclosed if it has a roof over it. If only part of the porch is roofed, then you have to start measuring from the edge of the portion of the porch with a roof over it.

6. I have a drainage easement on my property, what can I do with it?

You cannot put any structures or fences (including chain link fences) in a drainage easement. In addition, you cannot do any grading or filling of the easement.

7. I live on a corner lot, what is my front lot line adjacent to the street?

The front line is the narrowest lot line adjacent to a street.